

ZONING INFORMATION		
ZONE DESIGNATION R2	PERMITTED	PROVIDED
LOT FRONTAGE (m)	10.0	12.13
LOT DEPTH (m)	30.0	33.28
LOT AREA (sq. m)	300	400
FRONT YARD SETBACK (m)	1.5	6.0
REAR YARD SETBACK (m)	6.7	9.44
SIDE YARD SETBACK (m)	1.2	1.20
LOT COVERAGE (%)	40	36.3
LANDSCAPED OPEN SPACE - FRONT YARD (%)	50	58.0
HEIGHT (m)	12	10.5

STRUCTURE			
HOUSE STYLE (i.e. walkout, bungalow etc.)		TWO STOREY	
SERVICING CHECK BOX			
SERVICES	YES/NO	DEPTH AT P/L	INVERT @ P/L
WATER	YES	1.7m	245.93m
SANITARY	YES	2.68m	244.94m
STORM	YES	1.7m	245.93m

100.00

X

2%

→

FF

TFW

TFWR

TFWG

T/S

USF

USFG

WOB

RUSF

DS

○→

▶

2R

⊕

●

⊣

T

⊠

▲

■

●

⊗

110

EXISTING SPOT ELEVATION

PROPOSED SPOT ELEVATION

PROPERTY BOUNDARY

SURFACE DRAINAGE & GRADE

FINISHED FLOOR ELEVATION

TOP OF FOUNDATION WALL

TOP OF FOUNDATION WALL AT REAR OF THE HOUSE

TOP OF FOUNDATION WALL GARAGE

TOP OF SLAB

UNDERSIDE OF FOOTING

UNDERSIDE OF FOOTING GARAGE

WALKOUT BASEMENT

UNDERSIDE OF FOOTING AT WALKOUT BASEMENT

DOWNSPOUT LOCATION C/W SPLASH PAD

FIRST FLOOR ENTRYWAY

NO. OF RISERS

LIGHT STANDARD

FIRE HYDRANT

CURB STOP

COMMUNICATION PEDESTAL

TRANSFORMER

PAVED DRIVEWAY

MANHOLE

TREE

MUNICIPAL NUMBER

\* REFER TO CITY OF THUNDER BAY ENGINEERING STANDARDS DRAWING M-110 FOR ADDITIONAL STANDARD DRAWING SYMBOLS

CITY OF THUNDER BAY

GENERAL NOTES

1. ALL DIMENSIONS AND ELEVATIONS ARE IN METERS UNLESS OTHERWISE INDICATED.

2. DOWNSPOUTS SHALL BE DIRECTED TO DRAIN TO THE FRONT OF THE LOT AND NOT OUTLET DIRECTLY INTO ANY DRAINAGE SWALES. SPLASH PADS TO BE PROVIDED AT ALL OUTLET LOCATIONS.

3. REAR YARD SLOPES SHALL NOT BE LESS THAN 1.5%.

4. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER (OR THEIR CONTRACTOR) TO OBTAIN THE VARIOUS PERMITS / APPLICATION NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO:

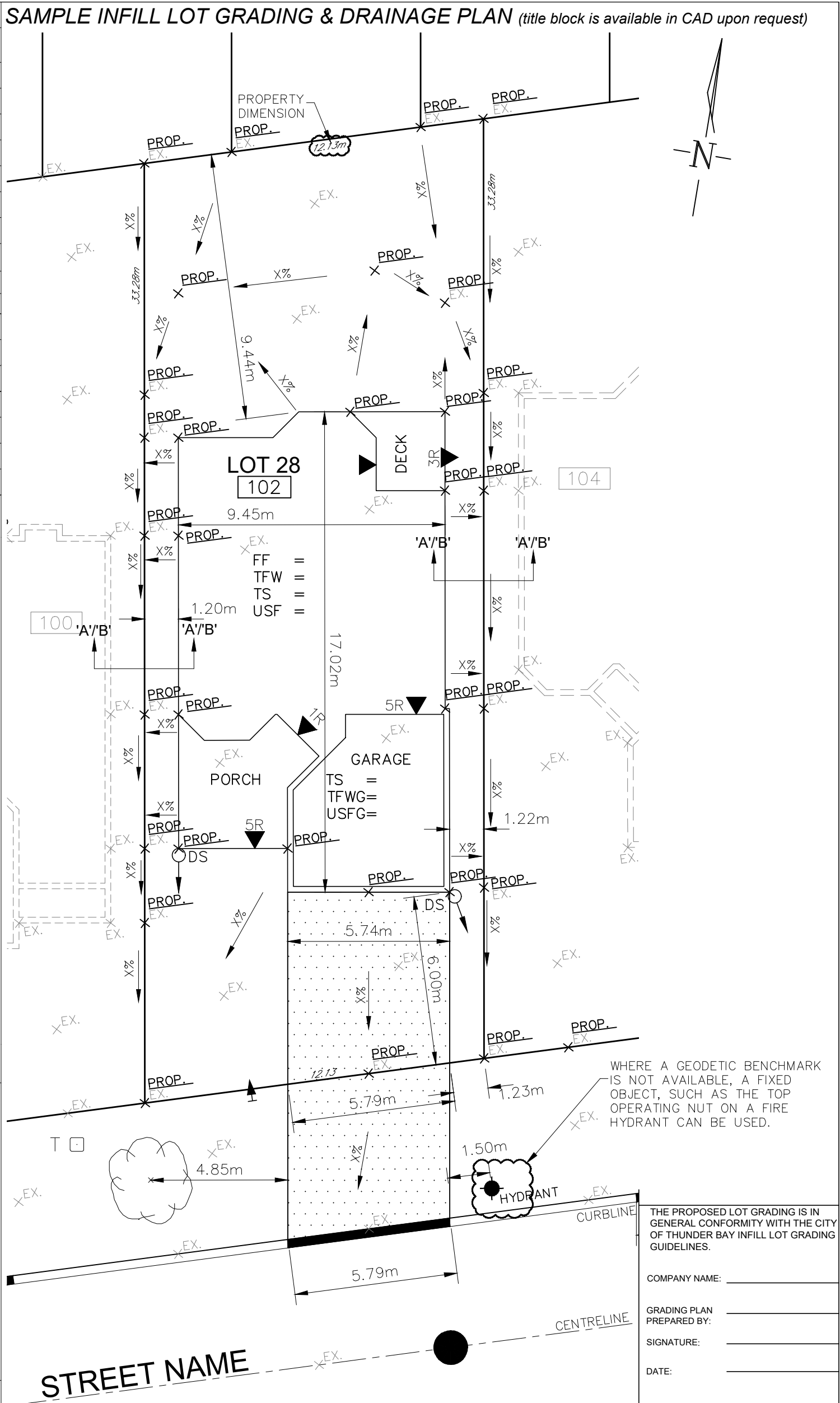
- ENTRANCE PERMIT
- ROAD CLOSURE PERMIT
- BUILDING PERMITS
- ENCROACHMENT / LICENSE AGREEMENTS
- SEWER & WATER CONNECTION APPLICATIONS

5. THE OWNER OF THE LOT IS REQUIRED TO COMPLY WITH THIS GRADING PLAN. ANY REVISIONS TO THE GRADING PLAN REQUIRE THE APPROVAL OF THE CITY OF THUNDER BAY BUILDING SERVICES DIVISION.

BENCHMARK

1. ELEVATIONS SHOWN HEREON ARE GEODETIC REFERRED TO BENCHMARK LOCATED AT <INSERT BENCHMARK LOCATION & DESCRIPTION>

ELEV: 123.45m



THE PROPOSED LOT GRADING IS IN GENERAL CONFORMITY WITH THE CITY OF THUNDER BAY INFILL LOT GRADING GUIDELINES.

COMPANY NAME: \_\_\_\_\_

GRADING PLAN PREPARED BY: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

TO BE SIGNED BY

PLAN DESIGNER

3.			
2.			
1.	FIRST SUBMISSION	01/19/15	AW
NO.	REVISIONS	DATE	INITIAL

LOT GRADING PLAN FOR

<INSERT STREET ADDRESS>

LOT 28, PLAN 55M-XXX

CITY OF THUNDER BAY

SCALE: 1:150

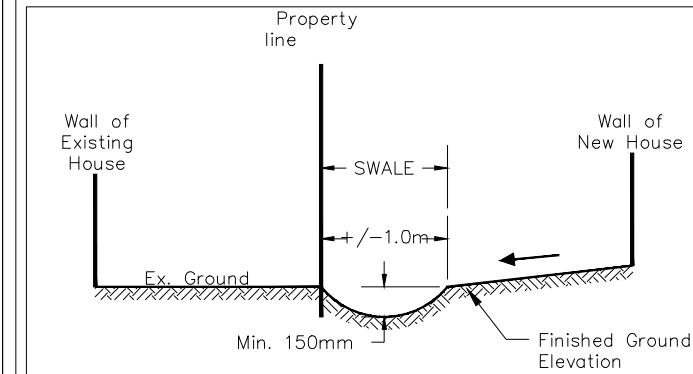
DATE: 02/22/25

DRAWN: AW

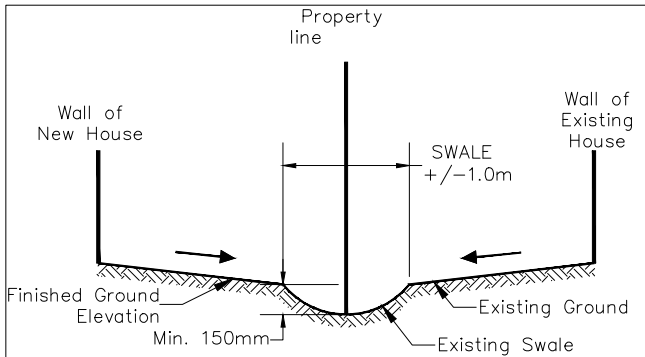
DESIGNED: AW

DWG. NO.

SP1



SAMPLE SWALE DETAIL 'A'



SAMPLE SWALE DETAIL 'B'

SUMP PUMP TO BE CONNECTED TO THE STORM SERVICE AS PER S-103-1 OR S-103-2

WHERE A STORM CONNECTION IS NOT PROVIDED, THE DRY WELL LOCATION AND SIZE ARE TO BE SHOWN

**RESIDENTIAL LOT GRADING PLAN CHECKLIST FOR INFILL DEVELOPMENTS**

<b>RESIDENTIAL INFILL LOT GRADING PLAN REQUIREMENTS</b>		<b>COMPLETED</b>			
		<b>Y</b>	<b>N</b>	<b>N/A</b>	<b>Comment</b>
<b>Drainage</b>	Existing elevations on the road and / or laneway, ditch, boulevard, curb and subject lot and adjacent lots				
	Location of buildings, existing and / or proposed, including those on adjacent lands.				
	Proposed elevations at all building corners, swales & changes in grade				
	Direction of drainage and surface slope (1.0% min. lot slope - Eng. Std. 2.3.5.k, 5% preferred max, 10% max)				
	Average rear yard slope not to exceed 10% (Eng. Std. 2.3.5.j)				
	Building apron grades (0.10m min., 0.15m preferred min.)				
	Driveway grades (Min. 2%, Max 8% - Eng. Std. R-124)				
	Swale depth (0.1m min, 0.20-0.25m preferred, - Eng. Std. 2.3.5.l)				
	Drainage flows around building in defined swale (i.e. back-to-front lots - Eng. Std. 2.3.5.m)				
	Maximum grading slope of 2H:1V (3H:1V preferred) - Eng. Std. 2.3.5.k				
	Retaining wall details and elevations				
	Roof leader & splash pad locations				
	Dry well location to be shown where a sump pump discharge to a storm sewer is not provided (min. 5m from building per OBC)				
	Cross-Section(s) showing how grading matches into adjacent properties, or typical swale cross-sections provided & labelled				
<b>Structure</b>	Outline of building(s), garage(s), driveway(s) shown				
	House USF minimum 1.37m cover required (or engineered insulation plan required)				
	House TFW minimum of 0.15m above adjacent grade				
	Showing Door Locations and Where Exterior Steps Required				
<b>Zoning</b>	Building Setbacks Shown and Labeled				
	Zoning Designation Box Shown (Building Division will review contents)				
<b>External Info</b>	Has a Entrance Permit be applied for?				
	Boulevard information: edge of pavement or roadway, street lights, transformers, pedestals, poles, hydrants, trees etc. shown?				
<b>Legal</b>	Municipal Address				
	Easements and/or reserves				
	Lot Dimensions				
<b>Misc.</b>	Metric Scale				
	Geodetic or temporary benchmark description and elevation				
	North arrow, and date / revision box				
	Required General Notes (see #1 to 5 on sample lot grading & drainage plan)				
<b>Approvals</b>	External Agency Approvals Required? (LRCA, MTO, etc.)				