

ZONING INFORMATION		
ZONE DESIGNATION RU	PERMITTED	PROVIDED
LOT FRONTAGE (m)	60.0	60.1
LOT DEPTH (m)	N/A	210.8
LOT AREA (sq. m)	10,000	12761
FRONT YARD SETBACK (m)	10.0	42.3
REAR YARD SETBACK (m)	10.0	N/A
SIDE YARD SETBACK (m)	6.0	12.2
LOT COVERAGE (%)	N/A	N/A
LANDSCAPED OPEN SPACE - FRONT YARD (%)	N/A	N/A
HEIGHT (m)	10.0	7.1

STRUCTURE	
HOUSE STYLE (i.e. walkout, bungalow etc.)	BUNGALOW

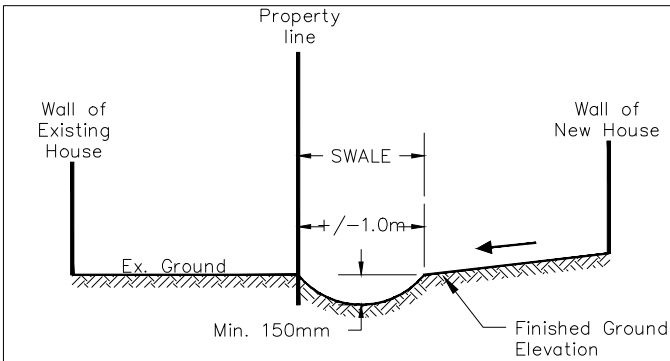
LEGEND

	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	PROPERTY BOUNDARY
	SURFACE DRAINAGE & GRADE
	FINISHED FLOOR ELEVATION
	TOP OF FOUNDATION WALL
	TOP OF FOUNDATION WALL AT REAR OF THE HOUSE
	TOP OF FOUNDATION WALL GARAGE
	TOP OF SLAB
	UNDERSIDE OF FOOTING
	UNDERSIDE OF FOOTING GARAGE
	WALKOUT BASEMENT
	UNDERSIDE OF FOOTING AT WALKOUT BASEMENT
	DOWNSPOUT LOCATION C/W SPLASH PAD
	FIRST FLOOR ENTRYWAY
	NO. OF RISERS
	LIGHT STANDARD
	FIRE HYDRANT
	CURB STOP
	COMMUNICATION PEDESTAL
	TRANSFORMER
	PAVED DRIVEWAY
	MANHOLE
	TREE
	MUNICIPAL NUMBER
	PROPERTY BAR (SIB)

* REFER TO CITY OF THUNDER BAY
ENGINEERING STANDARDS DRAWING M-110 FOR
ADDITIONAL STANDARD DRAWING SYMBOLS

- CITY OF THUNDER BAY**
GENERAL NOTES
- ALL DIMENSIONS AND ELEVATIONS ARE IN METERS UNLESS OTHERWISE INDICATED.
 - DOWNSPOUTS SHALL BE DIRECTED TO DRAIN TO THE FRONT OF THE LOT AND NOT OUTLET DIRECTLY INTO ANY DRAINAGE SWALES. SPLASH PADS TO BE PROVIDED AT ALL OUTLET LOCATIONS.
 - REAR YARD SLOPES SHALL NOT BE LESS THAN 1.5%.
 - THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER (OR THEIR CONTRACTOR) TO OBTAIN THE VARIOUS PERMITS / APPLICATION NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO:
 - ENTRANCE PERMIT
 - ROAD CLOSURE PERMIT
 - BUILDING PERMITS
 - ENCROACHMENT / LICENSE AGREEMENTS
 - SEWER & WATER CONNECTION APPLICATIONS
 - THE OWNER OF THE LOT IS REQUIRED TO COMPLY WITH THIS GRADING PLAN. ANY REVISIONS TO THE GRADING PLAN REQUIRE THE APPROVAL OF THE CITY OF THUNDER BAY BUILDING SERVICES DIVISION.

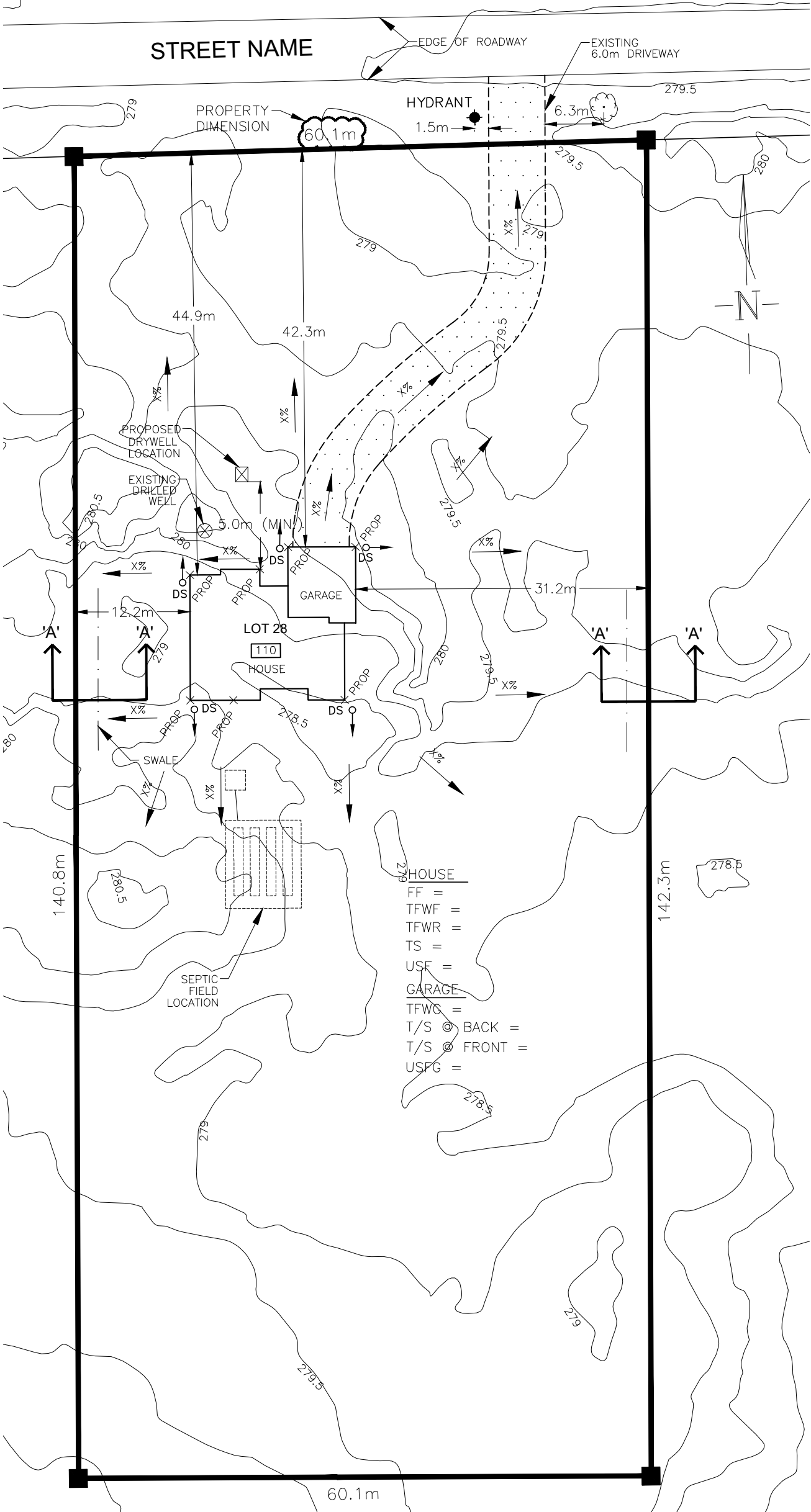
- BENCHMARK**
- ELEVATIONS SHOWN HEREON ARE GEODETIC REFERRED TO BENCHMARK LOCATED AT <INSERT BENCHMARK LOCATION & DESCRIPTION>
ELEV: 123.45m
WHERE A GEODETIC BENCHMARK IS NOT AVAILABLE, A FIXED OBJECT, SUCH AS THE TOP OPERATING NUT ON A FIRE HYDRANT CAN BE USED.



SAMPLE SWALE DETAIL

SAMPLE RURAL LOT GRADING & DRAINAGE PLAN

(title block is available in CAD upon request)



3.			
2.			
1.	FIRST SUBMISSION	01/19/15	AW
NO.	REVISIONS	DATE	INITIAL

LOT GRADING PLAN FOR
<INSERT STREET ADDRESS>

THE PROPOSED LOT GRADING IS IN
GENERAL CONFORMITY WITH THE CITY
OF THUNDER BAY RURAL LOT GRADING
GUIDELINES.

COMPANY NAME: _____

GRADING PLAN
PREPARED BY: _____

SIGNATURE: _____

DATE: _____

TO BE SIGNED BY
PLAN DESIGNER

SCALE: 1:500
DATE: 02/22/25
DRAWN: AW
DESIGNED: AW

DWG. NO.
SP1

RURAL LOT GRADING PLAN CHECKLIST

RURAL LOT GRADING PLAN REQUIREMENTS		COMPLETED			
		Y	N	N/A	Comment
Drainage	Existing elevations on the road and / or laneway, ditch, boulevard, curb and subject lot				
	Location of buildings, existing and / or proposed, including those on adjacent lands.				
	Proposed elevations at all building corners, swales & changes in grade				
	Direction of drainage and surface slope (1.0% min. lot slope - Eng. Std. 2.3.5.k, 5% preferred max, 10% max)				
	Average rear yard slope not to exceed 10% (Eng. Std. 2.3.5.j)				
	Building apron grades (0.10m min., 0.15m preferred min.)				
	Driveway grades (Min. 2%, Max 8% - Eng. Std. R-124)				
	Swale depth (0.1m min, 0.20-0.25m preferred, - Eng. Std. 2.3.5.l)				
	Drainage flows around building in defined swale (i.e. back-to-front lots - Eng. Std. 2.3.5.m)				
	Maximum grading slope of 2H:1V (3H:1V preferred) - Eng. Std. 2.3.5.k				
	Retaining wall details and elevations				
	Roof leader & splash pad locations				
	Dry well location to be shown where a sump pump discharge to a storm sewer is not provided (min. 5m from building per OBC)				
	Cross-Section(s) showing how grading matches into adjacent properties, or typical swale cross sections provided & labelled				
Structure	Outline of building(s), garage(s), driveway(s) shown				
	House USF minimum 1.37m cover required (or engineered insulation plan required)				
	House TFW minimum of 0.15m above adjacent grade				
	Showing Door Locations and Where Exterior Steps Required				
Zoning	Building Setbacks Shown and Labeled				
	Zoning Designation Box Shown (Building Division will review contents)				
External Info	Has a Entrance Permit be applied for?				
	Boulevard information: edge of pavement or roadway, street lights, transformers, pedestals, poles, hydrants, trees etc. shown?				
Legal	Municipal Address				
	Easements and/or reserves				
	Lot Dimensions				
Misc.	Metric Scale				
	Geodetic or temporary benchmark description and elevation				
	North arrow, and date / revision box				
	Required General Notes (see #1 to 5 on sample lot grading & drainage plan)				
Approvals	External Agency Approvals Required? (LRCA, MTO, etc.)				

Note: Existing contour maps are available from Mapping Services. Please contact: buildtbay@thunderbay.ca 807-622-8453