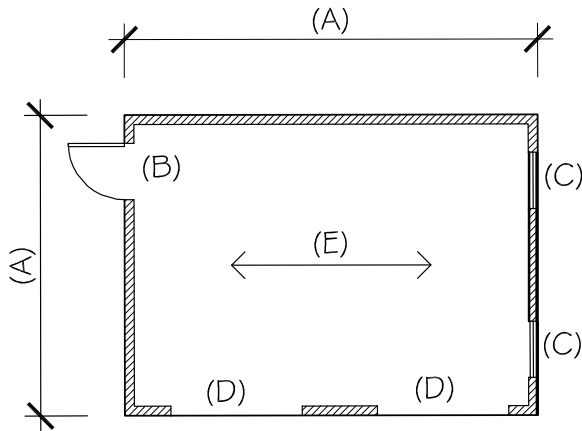


CONSTRUCTION INFORMATION

For simple Accessory Buildings, complete the information required on the **Accessory Building Design Form**. A **Floor Plan** drawing is required on this form. The minimum requirements are as follows:



- Width & length
- Man door size & location
- Window size & location
- Garage door size & location
- Truss/rafter direction
- Heating appliance (if applicable)
- Interior partitions (if applicable)

The Accessory Building Design Form will also require:

- Property information
- Roof, wall, floor, and foundation information

NON-STANDARD ACCESSORY BUILDINGS

If your project information cannot be transferred to our Accessory Building Design Form, please pick up a copy of our **Building Permit Guide** for minimum drawing requirements.

INSPECTIONS

- Once a permit has been issued and construction commences, inspections will be required.
- Inspections will, in most cases, be limited to a single “structural” inspection.
- For this inspection to occur, the building must be roofed (shingled, etc.) and enclosed (exterior sheathing, doors and windows), with no interior finish.
- Inspections do not happen automatically. It is your responsibility to arrange an inspection at least 48 hours in advance by calling one of the following numbers:

North Ward – 625-2570

South Ward – 625-3124

You can call anytime (24 hours/day) and leave a message. **Appointment times must be confirmed with a Building Inspector.**

For projects involving electrical work, contact the Electrical Safety Authority for information and inspections (1-877-372-7233).



BUILDING SERVICES DIVISION
Second Floor, Victoriaville Civic Centre
111 Syndicate Avenue South
P.O. Box 800
Thunder Bay, Ontario P7C 5K4

Telephone: (807) 625-2574
Fax: (807) 623-9344

Office Hours:
Monday - Friday
8:30 a.m. - 4:30 p.m.

A Guide To:

RESIDENTIAL ACCESSORY BUILDINGS

(Detached Garages & Sheds)

This pamphlet has no legal status and cannot be used as an official interpretation of the various codes and regulations currently in effect. Users are advised to contact the Building Services Division of the Development & Emergency Services Department, and reference the Ontario Building Code and City of Thunder Bay Zoning By-law, for assistance and information.

A Building Permit is Required Prior to Construction and Inspection

Building Permit Information



GENERAL REGULATIONS

- Accessory buildings greater than 10m² (108 ft²) in area require a building permit. All buildings (including those less than 10 m² in area) must comply with the requirements of the Zoning Bylaw, which affects such issues as size, height and location.
- Construction on an easement is **not** permitted. Check your survey and deed to determine if there is an easement on your property and where it is located.
- Accessory buildings greater than 55m² (592 ft²) must be designed by a registered designer unless an owner, with the necessary skills, submits their own design.
- Accessory buildings with any dimension greater than 12.2m (40 ft) require design by a registered, professional engineer for the slab and other structural aspects as determined necessary.

ZONING REQUIREMENTS

Please refer to “Residential Accessory Building Zoning Requirements” table on our “Residential Zoning Requirements” information sheet.

APPLICATION REQUIREMENTS

Provide the following:

- Completed Building Permit Application Form including Schedule 1.
- Authorization from owner.
- Proof of Ownership (i.e. Property Deed/Tax Notice).
- Current Site Plan or Survey, indicating existing and proposed construction.
- Completed Accessory Building Design Form **OR** two sets of complete working drawings.
- Other Approvals (where applicable). Now includes Truss Certificate as of 10/10/12
- Permit Fee (determined by Building Division staff, based on \$3 per square meter of building area. A minimum permit fee of \$100.00 applies).

PLEASE NOTE: The drawings must provide enough information to verify Zoning By-law and Building Code requirements are met.

Additional Clearances: It is the owner’s responsibility to locate and ensure proper clearances are maintained between the proposed accessory building and all utility lines, easements, water wells and septic systems in accordance with those authorities having jurisdiction.

Clearance from Electrical Conductors (Overhead and Underground) Wires: Although zoning regulations may permit yard clearances as little as 0.6 m (2 ft) from property lines, the required clearance to overhead electrical conductors is at least 3m (10 ft) horizontally from 2.5 kV to 46 kV lines (and more for higher kV lines and transformers). In all cases the most stringent clearance applies. Your building location must be reviewed and accepted by Thunder Bay Hydro - contact them @ 343-1176.

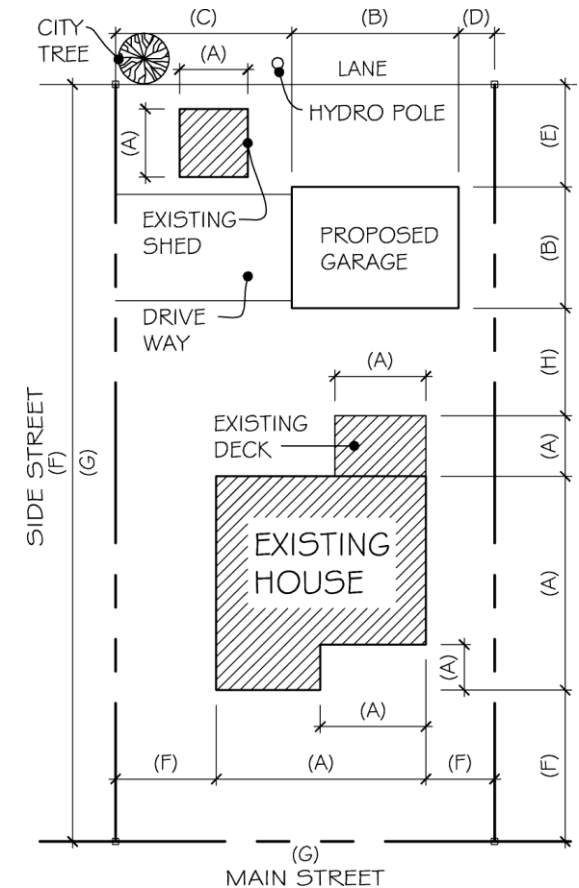
Clearance from Sewage System (Septic Tank and Field): Structures must be located not closer than 1.5m (5 ft) from a holding (septic) tank and 5m (16.4 ft) from a piped distribution system (septic field) system. Greater clearances may be required. For more detailed information contact the Thunder Bay District Health Unit (Sewage Systems and Land Development Program) at (807) 625-7991.

CALL BEFORE YOU DIG!

**For Locations of
Underground Services**

**ONTARIO ONE CALL
1-800-400-2255
OR
www.on1call.com**

SITE PLAN/SURVEY REQUIREMENTS



Metric Measurements Are Required. Imperial Measurements may be included.

Indicate the following:

- Existing Building(s) width, length & use
- Proposed Building width, length & use
- Exterior Side Yard Dimensions (street side)
- Interior Side Yard Dimensions
- Rear Side Yard Dimensions
- Existing Building Yards (front & side yard dimensions)
- Property Dimensions
- Distance Between Buildings (including deck)
- Driveway Location - shall not be located closer than 9m (30 ft) from the intersection of the property lines along the two streets
- Easements (rights of way)