

# APPLICATION FOR PERMISSION TO CONSTRUCT A DRIVEWAY

Permit No:
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**SECTION 1 - APPLICANT INFORMATION**

APPLICANT NAME:	
MAILING ADDRESS:	POSTAL CODE:
EMAIL ADDRESS:	PHONE NO.:

**SECTION 2 - REGISTERED PROPERTY OWNER**     Same as Applicant – proceed to Section 3

OWNER NAME:	
MAILING ADDRESS:	POSTAL CODE:
EMAIL ADDRESS:	PHONE NO.:

**SECTION 3 – LOCATION OF SUBJECT PROPERTY THAT PROPOSED DRIVEWAY WILL SERVICE**     Same as Owner Address

STREET NO.:	STREET NAME:	POSTAL CODE:
LEGAL DESCRIPTION: (if municipal address not yet assigned)		

**SECTION 4 – DESCRIPTION OF WORK**

Type of Access:     Residential     Commercial     Industrial

Application is being made for:  
 New Driveway     Existing Driveway (w/construction)     Existing Driveway (Resurface Only) – go to Section 5 (no sketch required)

- Please attach a sketch or drawing showing your property and the location of the proposed entrance.
- Property should be clearly marked with stakes for inspection purposes.

**SECTION 5 – CONTRACTOR INFORMATION**

Construction to be done by:     Owner     Contractor

CONTRACTOR:	ADDRESS:	PHONE NO.:
ENGINEER/ ARCHITECT:	ADDRESS:	PHONE NO.:

**SECTION 6 – CONSENT AND APPROVALS**

**In consideration of being granted approval for the work set forth in this application, I hereby agree:**

(a) That no work will commence until the application and plans are approved by the Engineering Division and an approved permit has been issued;

(b) To construct and maintain the driveway in accordance with the approved specifications, and plans, driveway permit conditions and/or instructions, and the City Driveway Control policy;

(c) To accept all costs associated with the construction and maintenance of the driveway, including, but not limited to, the relocation by the City of any existing service such as hydrants, parking meters, sign posts, hydro poles, trees, in accordance with the City Driveway Control policy;

(d) To acknowledge that the privilege conferred by the granting of this application for a driveway and/or driveways carries with it all legal liability, including, but not limited to third party liability (i.e. for damages or injuries to other persons);

(e) To adhere to all other By-laws of the City pertaining to this application, including the Zoning By-law. The undersigned acknowledges that the issuance of a permit under this application is not confirmation that the proposed driveway conforms to the Zoning By-law and that the City reserves its right to enforce the Zoning By-law notwithstanding the issuance of a permit under this application. It shall be the sole responsibility of the undersigned to ensure compliance with the Zoning By-law and the City shall have no liability in respect of or arising out of any violation thereof or any steps taken with respect to the permit issued under this application; and

(f) All motor vehicles using the parking space and driveway must be able to park totally within the limits of the property being accessed and shall not overhang or encroach onto City lands, sidewalks, boulevards or street allowances.

**SECTION 7 – SIGNATURE OF APPLICANT**

Signature	Date
<input type="checkbox"/> Mail Out Permit <input type="checkbox"/> Call for Pickup	

# SITE INSPECTION – OFFICE USE ONLY

Address:	Permit No.
Inspector(s) Name(s):	Time and Date of Inspection:

Has the location of the driveway been marked? ..... YES  NO

Does it match the dimensions listed on the application? ..... YES  NO

Does it meet the 9.0 m clearance requirement for intersections? ..... YES  NO

Does it meet the 6.0 m clearance requirement to other existing driveways on this lot? ..... YES  NO

Is there enough room for the applicant's vehicle to park entirely on their property? ..... YES  NO

THE DRIVEWAY LOCATION HAS:  Curb Only  Curb and Gutter  Sidewalk  Hollow Sidewalk

Curb Faced Sidewalk  Ditches  Paved Street Surface  Gravel Street Surface

Existing Culvert (diameter) \_\_\_\_\_ (length) \_\_\_\_\_  Existing Concrete Headwall

**ARE THERE ANY CONFLICTS WITH THE FOLLOWING?**

Hydro Poles  Light Poles  Other Poles  Signs  Fire Hydrants  Telecommunications Boxes

Curb Stops  Manholes  Catch Basins  Overhead Wires \_\_\_\_\_

Will this driveway result in a vehicle being parked:

Directly adjacent a neighbouring house/building? ..... YES  NO

In a location that obstructs a sidewalk? ..... YES  NO

Less than 1.5 m from the edge of the travelled road surface? ..... YES  NO

Is there a tree located at or near the location of the driveway? ..... YES  NO

If yes, confirm that its location has been properly illustrated on the plan drawing and verify the dimension from the edge of the tree to the drip line of the tree.

Location Verified Dimension to Drip Line: \_\_\_\_\_

Is the running slope of the proposed driveway greater than the maximum 8% allowed? ..... YES  NO

If yes, provide details: \_\_\_\_\_

Is a culvert required? ..... YES  NO

PROVIDE SPECIFIC DETAILS IF IT IS A UNIQUE SITUATION (e.g. high point in ditch, etc): \_\_\_\_\_

If a culvert is required. confirm the depth of the ditch and the size of nearby culverts upstream and downstream of the driveway.

(depth of ditch) \_\_\_\_\_ (size upstream) \_\_\_\_\_ (size downstream) \_\_\_\_\_

Confirm the diameter and length of culvert required for this proposed driveway:

Diameter \_\_\_\_\_ Length \_\_\_\_\_ (Note: apply a 2H:1V side slope to sides of driveway)

**Is the location of the proposed driveway satisfactory?** ..... YES  NO

What modifications to existing infrastructure will be required to construct this driveway?

Curb Cut Req'd  YES  NO (length) \_\_\_\_\_ Pavement Cut Req'd ..... YES  NO

Sidewalk Replacement Req'd YES  NO  If Yes, Area of Sidewalk Replacement Req'd (sq-m) \_\_\_\_\_

Ramping of Curb Faced Sidewalk Req'd ..... YES  NO

Asphalt Ramp in Gutter Line Req'd ..... YES  NO

Other: \_\_\_\_\_

**FINAL ENGINEERING APPROVAL CHECKLIST**

Was Roads Division review/approval required? ..... YES  NO

Will the driveway result in less than 50% front yard green space? ..... YES  NO

Is the proposed driveway connecting to an arterial road? ..... YES  NO

Is the driveway less than 9.0 m from the nearest intersecting street line? ..... YES  NO

Is the angle of the driveway less than 60°? ..... YES  NO

Is there insufficient street line length to support the number of driveways to the lot? ..... YES  NO

**FINAL POST CONSTRUCTION INSPECTION**

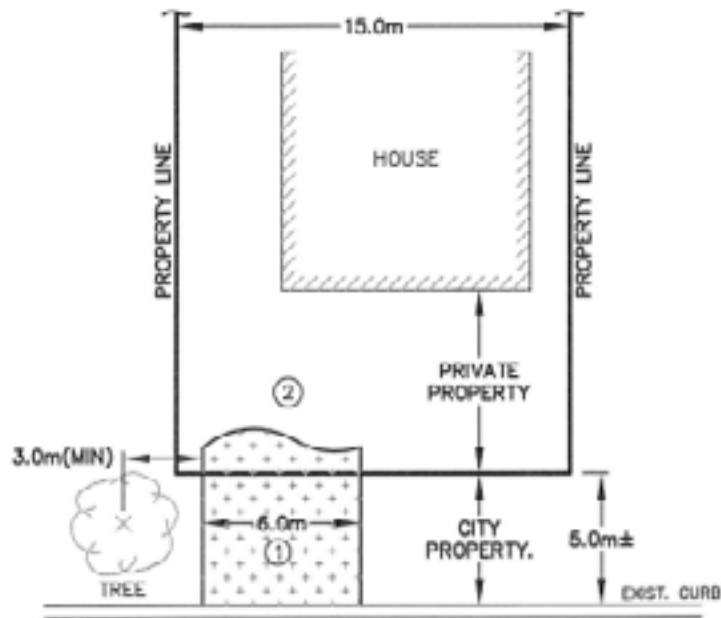
Is the driveway construction satisfactory? ..... YES  NO

Notes: \_\_\_\_\_

\_\_\_\_\_

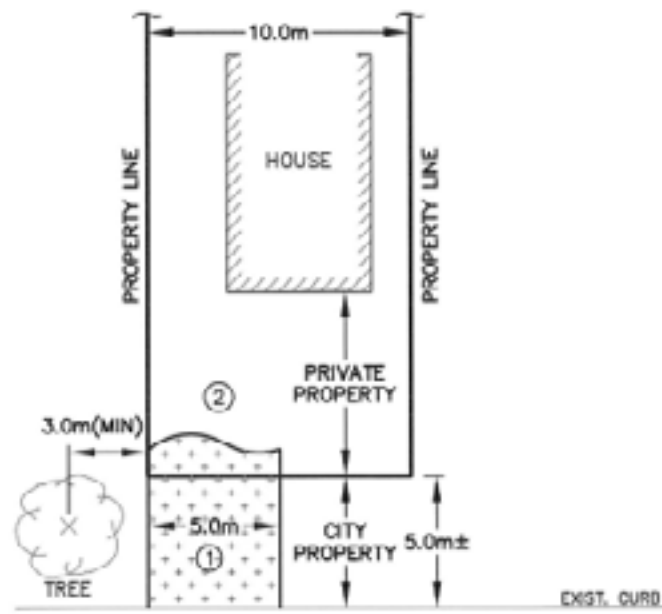
# SAMPLE DRIVEWAY DRAWINGS

EXAMPLE 1 – RESIDENTIAL (TYPICAL)

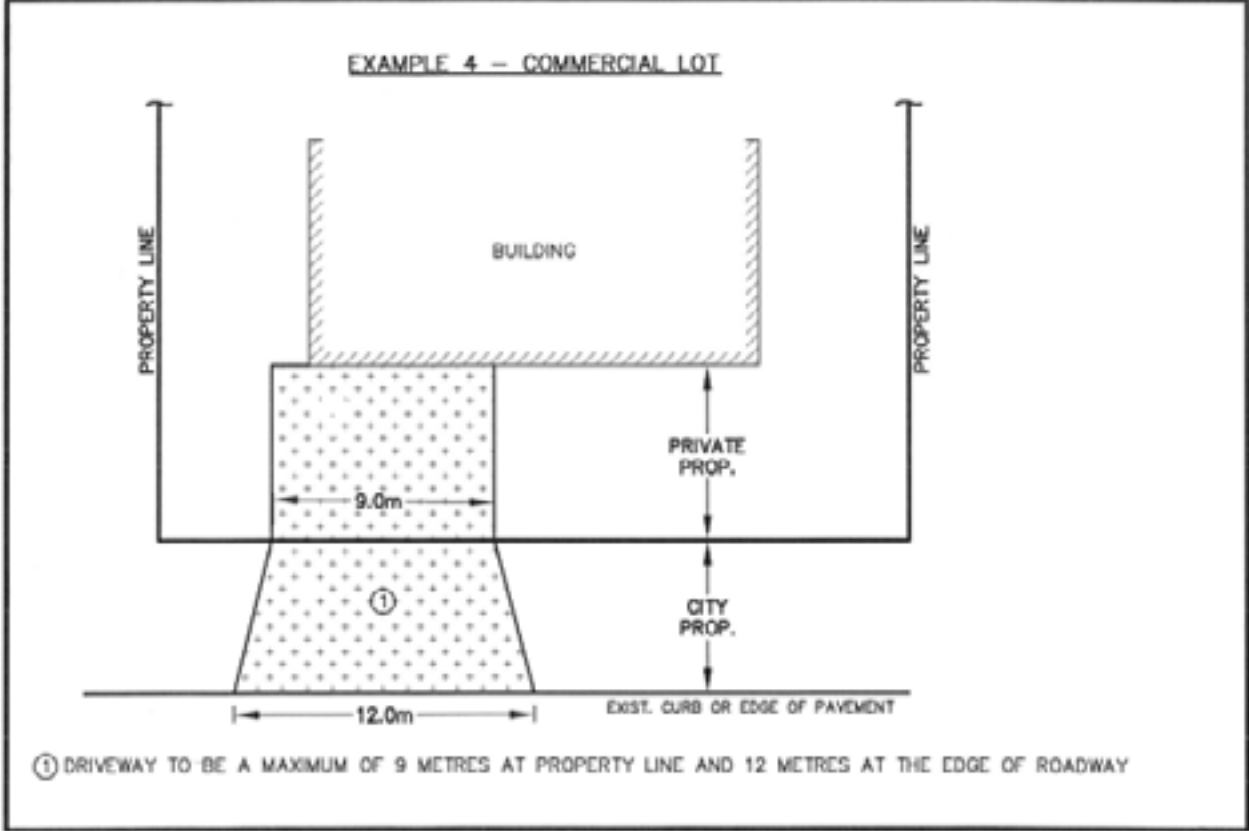
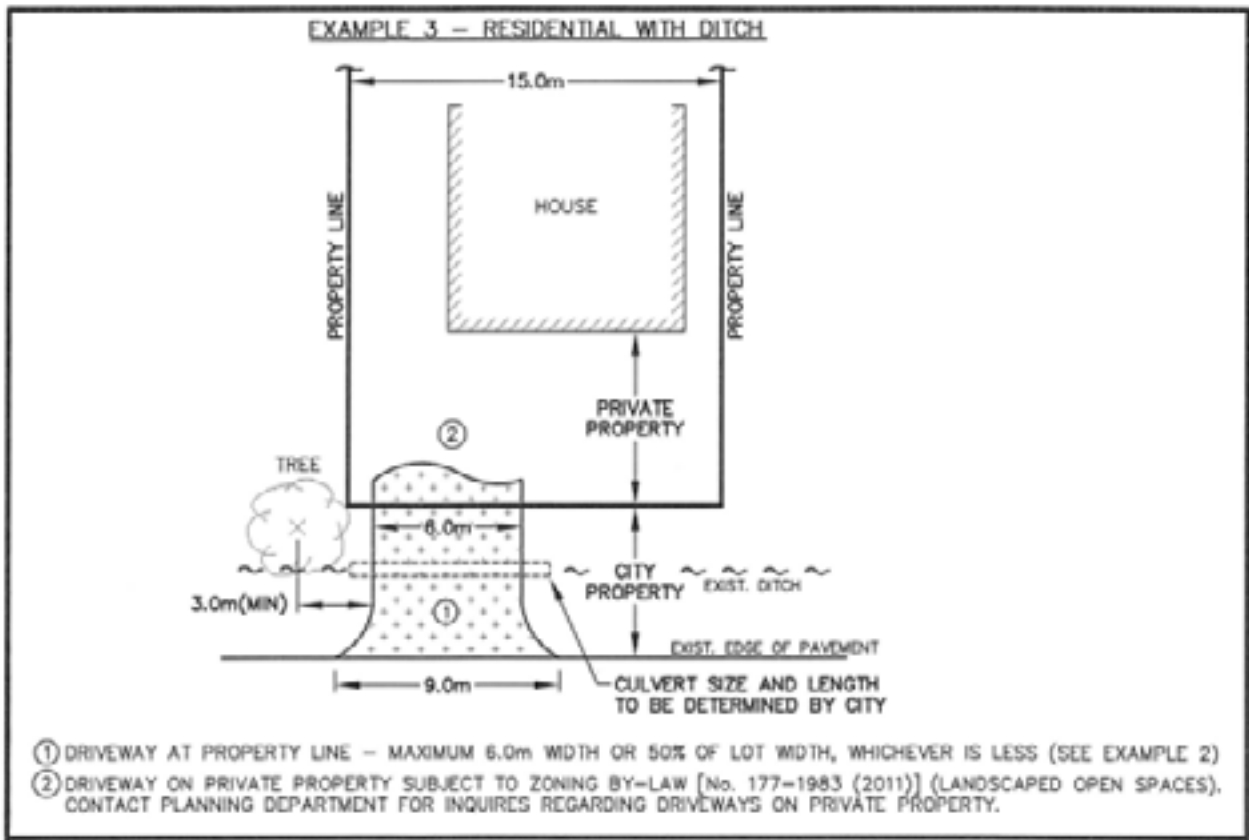


- ① DRIVEWAY AT PROPERTY LINE – MAXIMUM 6.0m WIDTH OR 50% OF LOT WIDTH, WHICHEVER IS LESS (SEE EXAMPLE 2)
- ② DRIVEWAY ON PRIVATE PROPERTY SUBJECT TO ZONING BY-LAW [No. 177–1983 (2011)] (LANDSCAPED OPEN SPACES). CONTACT PLANNING DEPARTMENT FOR INQUIRES REGARDING DRIVEWAYS ON PRIVATE PROPERTY.

EXAMPLE 2 – RESIDENTIAL (NARROW LOT)



- ① AS LOT IS LESS THAN 12.0m WIDE, DRIVEWAY ON BOTH CITY AND PRIVATE PROPERTY CANNOT EXCEED 50% OF LOT WIDTH (ie. 5.0m FOR 10.0m LOT WIDTH)
- ② DRIVEWAY ON PRIVATE PROPERTY SUBJECT TO ZONING BY-LAW [No. 177–1983 (2011)] (LANDSCAPED OPEN SPACES). CONTACT PLANNING DEPARTMENT FOR INQUIRES REGARDING DRIVEWAYS ON PRIVATE PROPERTY.



Prior to construction, underground utility locates must be obtained by the person/Contractor performing the work. If existing overhead utilities (telephone, hydro, etc.) are present at the location of the driveway the owner is responsible for contacting the utility companies to verify that clearances to overhead wires are acceptable. **NOTIFY THE ENGINEERING DIVISION ONCE THE DRIVEWAY HAS BEEN FULLY CONSTRUCTED.**